



Upper Dublin Township
Code Enforcement Department
370 Commerce Drive
Fort Washington, PA 19034
Phone: (215) 643-1600 x8070
Email: permits@upperdublin.net
Website: www.upperdublin.net

PERMIT SUBMISSION GUIDE

DECKS

New Decks, Deck Extensions or Modifications

- 1) Building Permit Application
- 2) Electrical Permit Application (if any electric, including low voltage, is to be added to the deck)
- 3) Grading Permit Application
- 4) Building & Impervious Coverage Form
- 5) Homeowner Association Approval (if applicable)
- 6) Two (2) sets or a digital/PDF of drawings/plans designed to the Upper Dublin Township (UDT) Code, as well as the PA UCC and ICC Codes adopted by UDT, showing deck structure, materials, connections, 14" wide x 36" deep footings, elevations, stairs, etc. If alternative materials are to be used other than pressure-treated wood (i.e. composite decking), manufacturer's specifications must be provided. If a digital plan review is performed, then the reviewed and approved plan set will be printed and the cost of same invoiced. **NOTE:** Signed and sealed drawings prepared by a PA Design Professional are required if any portion of the deck is over 30" from ground level.
- 7) Electrical plans approved by the electrical inspection agency (if required)
- 8) Site/Plot Plan noting all setbacks, etc.
- 9) Contractor Registration Form
- 10) Contractor's Certificate of Insurance noting general liability and workers compensation insurance with Upper Dublin Township as a certificate holder
- 11) Contractor's signed contract noting the scope of work, all costs of construction, etc.
- 12) Permit application fees per UDT Schedule of Fees will be invoiced after receipt of the above but must be paid prior to any review commencing

Deck Repairs & Redecking (replacing deck boards/railings on existing deck)

- 1) Building Permit Application
- 2) Electrical Permit Application (if any electric, including low voltage, is to be added to the deck)
- 3) Homeowner Association Approval (if applicable)
- 4) Two (2) sets or a digital/PDF of drawings/plans designed to the Upper Dublin Township (UDT) Code, as well as the PA UCC and ICC Codes adopted by UDT, showing deck structure, materials, connections, 14" wide x 36" deep footings, elevations, stairs, etc. If alternative materials are to be used other than pressure-treated wood (i.e. composite decking), manufacturer's specifications must be provided. If a digital plan review is performed, then the reviewed and approved plan set will be printed and the cost of same invoiced. **NOTE:** Signed and sealed drawings prepared by a PA Design Professional are required if any portion of the deck is over 30" from ground level.
- 5) Electrical plans approved by the electrical inspection agency (if required)

THIS IS ONLY A GUIDE –
ADDITIONAL FORMS, DOCUMENTS, SPECIFICATIONS, FEES, ETC. MAY BE REQUIRED



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- 6) Contractor Registration Form
- 7) Contractor's Certificate of Insurance noting general liability and workers compensation insurance with Upper Dublin Township as a certificate holder
- 8) Contractor's signed contract noting the scope of work, all costs of construction, etc.
- 9) Permit application fees per UDT Schedule of Fees will be invoiced after receipt of the above but must be paid prior to any review commencing
 - a) A pre-inspection of existing deck will be performed after permit application has been submitted to verify that the **existing/remaining** deck is up to Code.
 - b) Existing deck boards must be removed for pre-inspection (safety check) to be done as well as footings must be exposed to verify depth.
 - c) Pre-inspection safety check will include but is not limited to the following: hardware, connections, condition of wood (if wood is underground it will be checked for rot), verification that footings are installed 36" deep, spans, railings, etc.
 - d) If deficiencies are found, a Field Correction Notice will be issued noting work required to be done to bring deck up to Code.
 - e) IF EXISTING DECK FAILS: If property owner elects to correct the deficiencies or build a new deck, then permit application must be amended to include all work that must be done, additional fees involved, as well as provide (2) sets of revised plans
 - f) IF EXISTING DECK FAILS AND IS UNSAFE: If property owner elects to retract the permit application, the deck must be removed and door to deck must be blocked off. Property owner has the right to get a PA Registered Structural Engineer or Architect to inspect and provide a signed and sealed letter that deck meets Code in order to proceed with the application.
 - g) IF EXISTING DECK PASSES: If deck passes pre-inspection, it will be noted that it was inspected and the permit application can move forward with review for Code compliance

Converting Existing Deck to a Screened Porch/3 Season Room

- 1) Building Permit Application
- 2) Electrical Permit Application
- 3) Grading Permit Application
- 4) Certificate of Occupancy Application
- 5) Building & Impervious Coverage Form: Note: Deck is now considered building coverage as it is an addition/habitable space
- 6) Homeowner Association Approval (if applicable)

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- 7) Two (2) sets or a digital/PDF of signed and sealed drawing/plans prepared by a PA Design Professional drawn to the Upper Dublin Township (UDT) Code, as well as the PA UCC and ICC Codes adopted by UDT, showing deck and roof structure, doors, materials, connections, 14" wide x 36" deep footings, elevations, stairs, etc. If alternative materials are to be used other than pressure-treated wood (i.e. composite decking), manufacturer's specifications must be provided. If a digital plan review is performed, then the reviewed and approved plan set will be printed and the cost of same invoiced.
- 8) Electrical plans approved by the electrical inspection agency
- 9) Site/Plot Plan noting all setbacks, etc.
- 10) Contractor Registration Form
- 11) Contractor's Certificate of Insurance noting general liability and workers compensation insurance with Upper Dublin Township as a certificate holder
- 12) Contractor's signed contract noting the scope of work, all costs of construction, etc.
- 13) Permit application fees per UDT Schedule of Fees will be invoiced after receipt of the above but must be paid prior to any review commencing

Deck Around Pool

- 1) Building Permit Application
- 2) Electrical Permit Application (if any electric, including low voltage, is to be added to the deck)
- 3) Grading Permit Application
- 4) Building & Impervious Coverage Form
- 5) Homeowner Association Approval (if applicable)
- 6) Two (2) sets or a digital/PDF of signed and sealed drawing/plans prepared by a PA Design Professional drawn to the Upper Dublin Township (UDT) Code, as well as the PA UCC and ICC Codes adopted by UDT, showing deck structure, materials, connections, fencing/guards, 14" wide x 36" deep footings, elevations, stairs, etc. If alternative materials are to be used other than pressure-treated wood (i.e. composite decking), manufacturer's specifications must be provided. If a digital plan review is performed, then the reviewed and approved plan set will be printed and the cost of same invoiced.
- 7) Electrical plans approved by the electrical inspection agency (if required)
- 8) Site/Plot Plan noting all setbacks, etc.
- 9) Contractor Registration Form
- 10) Contractor's Certificate of Insurance noting general liability and workers compensation insurance with Upper Dublin Township as a certificate holder

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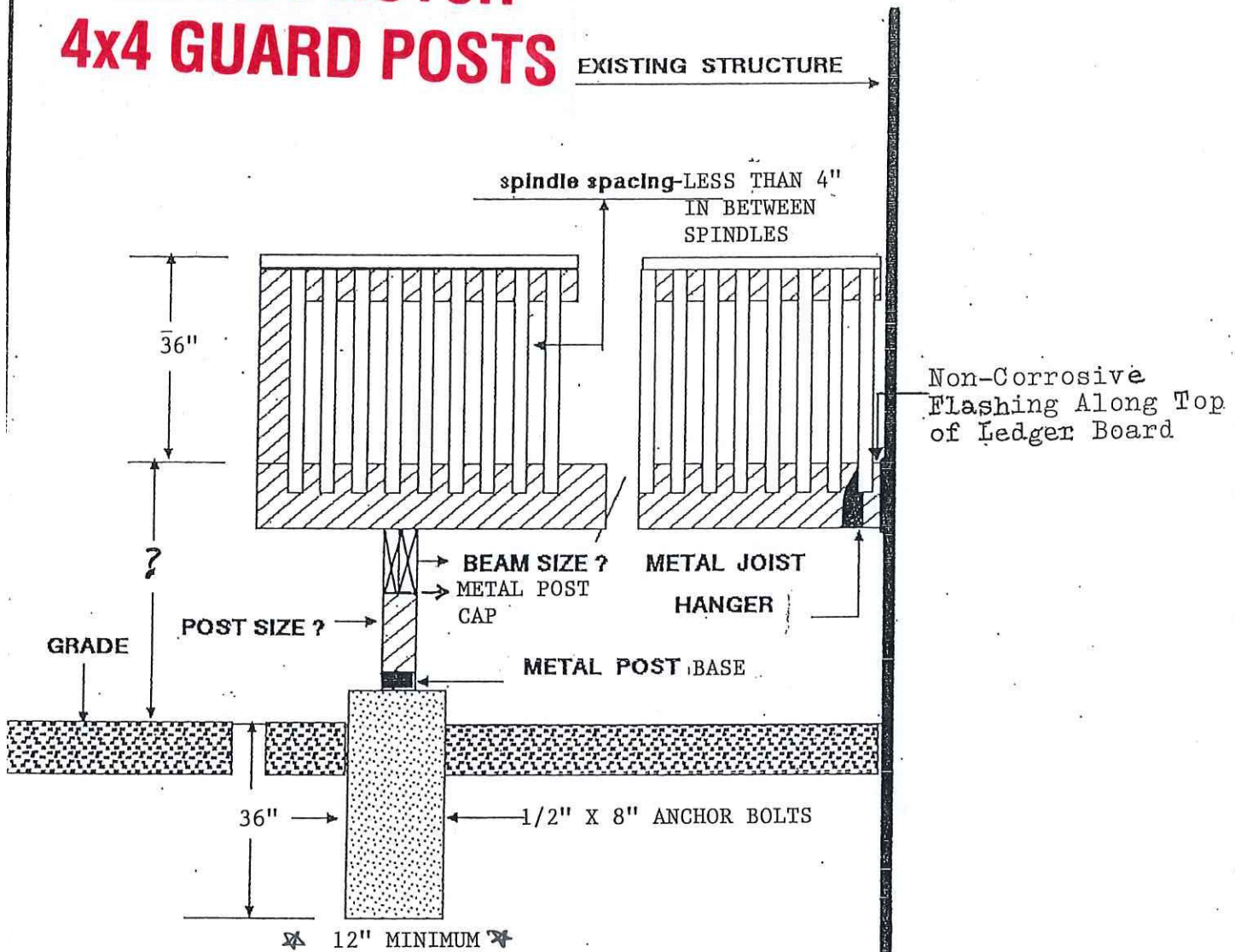
DECKS

- 11) Contractor's signed contract noting the scope of work, all costs of construction, etc.
 - 12) Permit application fees per UDT Schedule of Fees will be invoiced after receipt of the above but must be paid prior to any review commencing
 - a) Guidelines must be followed in regard to a deck being considered a pool barrier per UDT Code §218.4
- All applications must be fully completed with email addresses for all applicable parties including, but not limited to, property owner, building management company, contractor, etc. and signed by the applicant – Incomplete or unsigned applications will not be accepted
 - All forms can be found on our website, www.upperdublin.net
 - Once Zoning has been approved, it takes approximately 15 business days for residential and 30 business days for commercial for permit applications to be reviewed, approved, and issued. No work may commence until permit has been issued or late fees will be charged per Code.
 - Deck Codes:
 - UDT Chapter 255-39.1. Decks
 - UDT Chapter 255.29. Lot, yard and bulk requirements.
 - Uniform Construction Code (UCC), International Building Code (IBC) and International Residential Code (IRC) currently adopted by UDT, including but not limited to:
 - R311. Means of Egress
 - R312. Guards and Window Fall Protection
 - R507. Exterior Decks

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SAMPLE ONLY

**DO NOT NOTCH
4x4 GUARD POSTS**



Note: 4x4 post - 12" wide footing width
* 6x6 post - 14" wide minimum footing

DECK SAMPLE

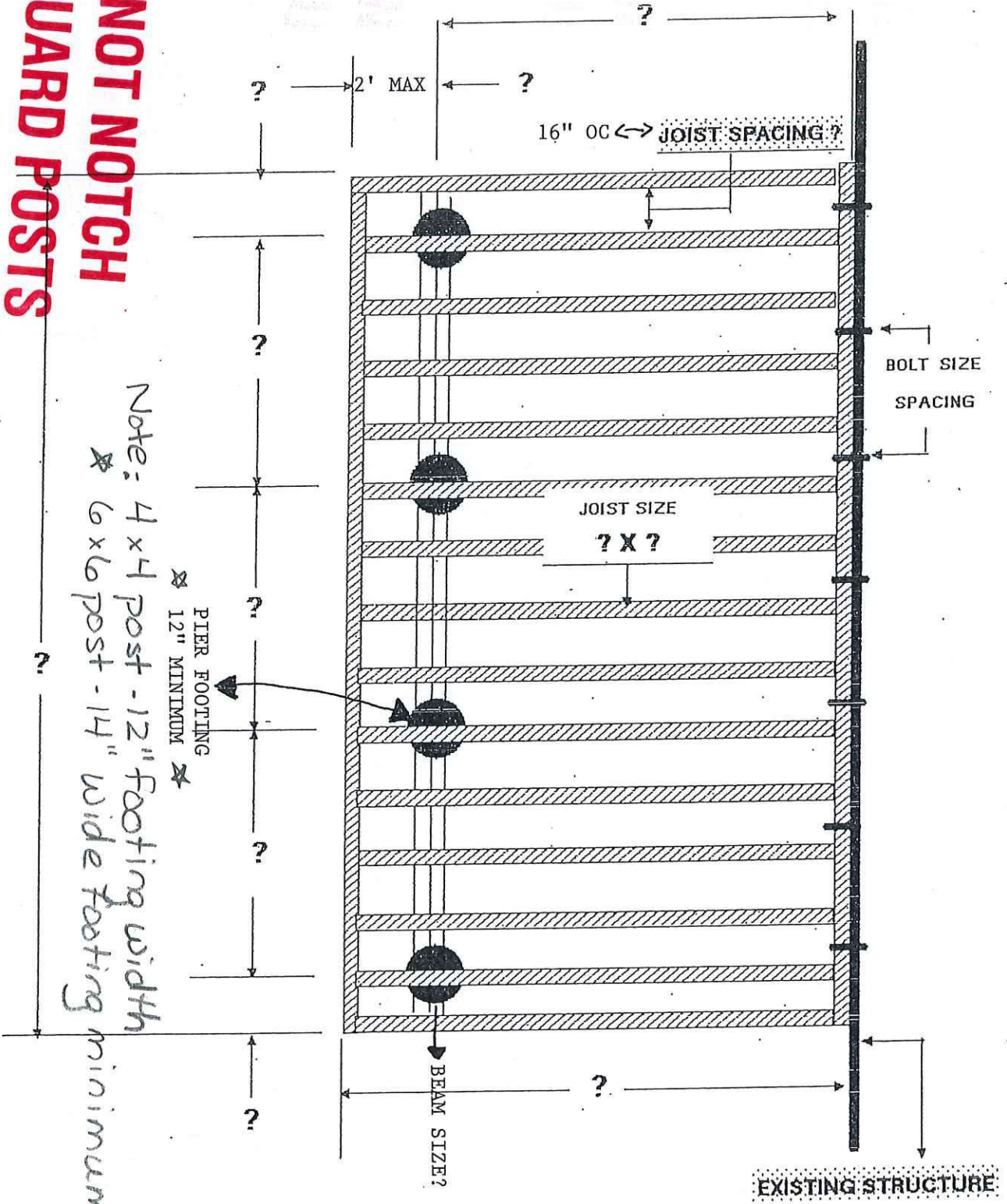
DRAWN BY:

DATE:

SAMPLE ONLY

4x4 GUARD POSTS
DO NOT NOTCH

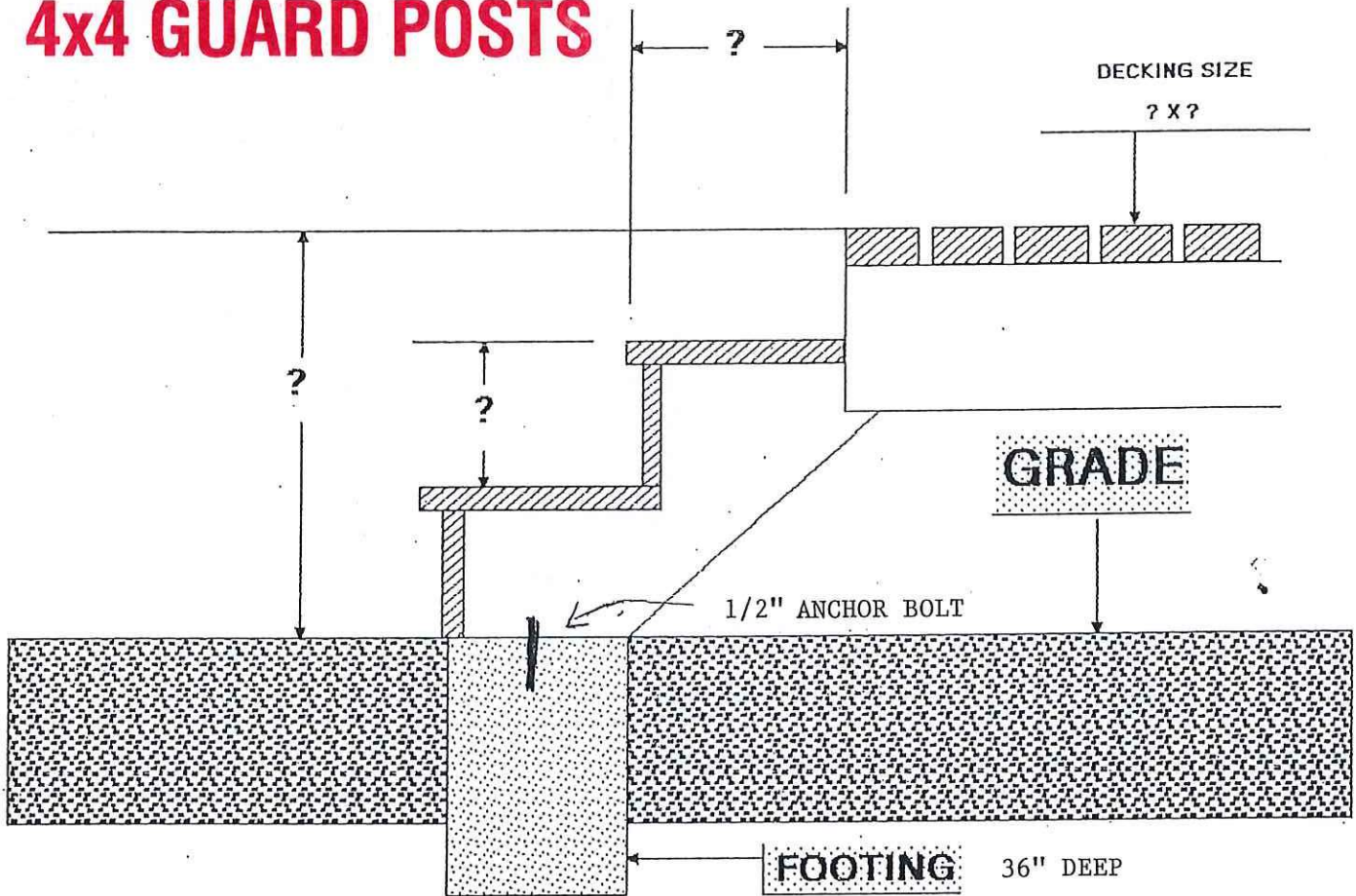
Note: 4x4 post - 12" footing width
6x6 post - 14" wide footing minimum
PIER FOOTING
12" MINIMUM



DECK SAMPLE	
DRAWN BY:	DATE:

SAMPLE ONLY

**DO NOT NOTCH
4x4 GUARD POSTS**



CONTINUOUS, GRASPABLE HANDRAILS MUST
BE ILLUSTRATED

DECK SAMPLE

DRAWN
BY:

DATE

Hurricane Clips
JOIST to BEAM connection

Post/Beam
& Footing
DETAIL

7" GALV. THRU-BOLTS
1/2" NUTS & WASHERS

DOUBLE 2" X
BEAM

POST NOTCHED
TO ACCEPT BEAM

6X6 PT. POST

FOOTINGS:
3' DEEP X 12" WIDE *

BASE PLATE
ANCHORED TO
FOOTING
W/ 8" EXPANSION
MINIMUM
ANCHORS
1/2" DIAMETER

Note: 4x4 post - 12" wide
6x6 post - 14" wide
minimum

36"

* 12" MIN. *

