



UPPER DUBLIN
TOWNSHIP
CODE ENFORCEMENT

Upper Dublin Township
Code Enforcement Department
370 Commerce Drive
Fort Washington, PA 19034
Phone: (215) 643-1600 x8070
Email: permits@upperdublin.net
Website: www.upperdublin.net

PERMIT SUBMISSION GUIDE

UTILITY SHEDS

1. Zoning Permit Application for sheds measuring 120 sq. ft. or under (10' x 12')
2. Building Permit Application sheds measuring 121 sq. ft. or over. Note: Structures over 400 sq. ft. are considered garage/barn; see regulations for garages. **See below
3. Electrical Permit Application (if electric is being installed) with electrical plans approved by the electrical inspection agency
4. Grading Permit Application for sheds over 80 sq. ft. Note: Some sheds may require stormwater management
5. Building & Impervious Coverage Form
6. Contractor Registration Form: All contractors must be on file with Upper Dublin Township. Contractor Registration Form must be completed, notarized if workers compensation insurance is not carried, and returned along with a Certificate of Insurance with Upper Dublin Township listed as a certificate holder.
7. Plot Plan (drawn to scale):
 - Must show placement of shed on lot and distances from all structures as well as property lines
 - Must be 10 feet from the principal structure and from side and rear property lines.
 - **B/C/NH Zoning**: Shed may be 4 feet from property line, but must be constructed of fire-resistant material and proof of same submitted for review.
 - Fire-resistant requirements:
 - Fire-resistant Interior with either:
 - Interior finished with type "X" fire-rated drywall (minimum 5/8") with (1) coat of spackle, or
 - Interior finished with STAMPED fire-retardant plywood (such as PyroGuard)
 - Fire-resistant exterior
 - Outside fire-rated sheathing (such as LP FlameBlock or LP SmartSide)
8. Homeowner Association Community: If applicable, provide written proof of HOA approval
9. Copy of signed contract noting the scope of work, all costs of construction, etc.
10. IF PROPOSED UTILITY SHED IS 121 SQ. FT. OR OVER:
 - If shed is being built/constructed on site: Detailed plans must be submitted showing footings, framing, pad, anchoring, etc.
 - Pre-fabricated / Drop-in-Place: Provide copy of brochure/specification book on construction
11. Permit application fees will be invoiced after receipt of the application(s) but must be paid prior to commencement of any review

**** It takes approximately 15 business days (residential) or 30 business days (commercial) to review and approve any permit application once all information has been properly submitted. No work may commence until the permit applications have been reviewed, approved, and issued. Any work started prior to permit issuance, will result in late fees being charged.**

ADDITIONAL REQUIREMENTS:

- **ANCHORS REQUIRED:** Must be anchored down on two opposing corners or tied into concrete footer or slab. Anchor guidelines provided upon request.
- **BUILDING CHARACTERISTICS:** Must not be higher than 22 feet. May only be placed in the side or rear yard of the property. Note: corner properties have 2 front yards.
- **ZONING CODE SECTION 255-29**

THIS IS ONLY A GUIDE –
ADDITIONAL FORMS, DOCUMENTS, SPECIFICATIONS, FEES, ETC. MAY BE REQUIRED



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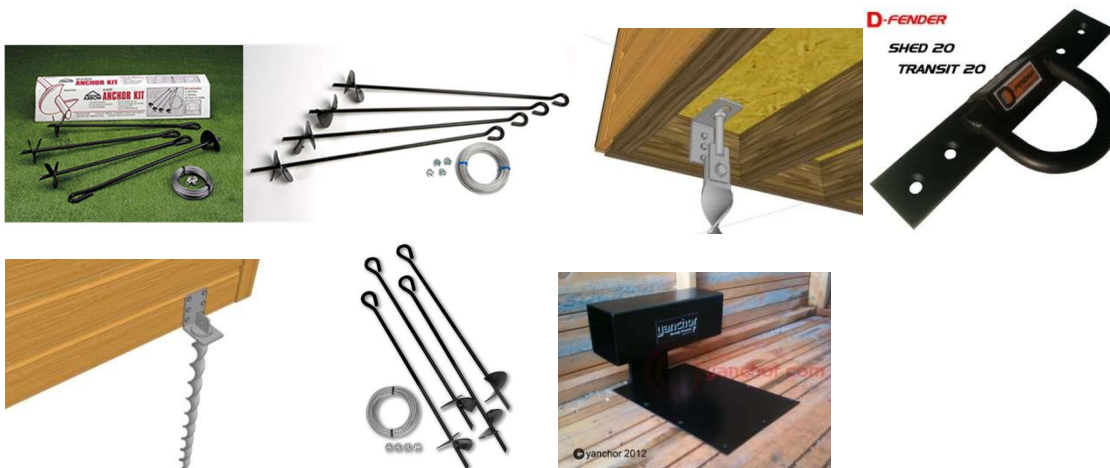
UTILITY SHEDS

CODE 255-29 LOT, YARD AND BULK REQUIREMENTS (Amended 8/12/14 by Ordinance 14-1291)

Accessory buildings, structures, and uses may be erected or conducted in a side or rear yard, but not a front yard, must be completely detached from the principal building, structure or use, and must meet all of the following criteria:

- A. Height: Unless otherwise specifically permitted or prohibited by any other law or regulation, accessory buildings and structures shall not be greater in height, measured from grade, than the lesser of 22 feet or the height of the principal building or structure measured from grade to the peak of the principal building roof.
- B. Size: An accessory building or structure, other than a barn may not exceed 600 SF in building coverage.
- C. Principal building setback: Accessory building, structures, and uses shall be situated no closer than 10 feet from the principal building, structure, or use unless a greater building setback is specifically required by any other law or regulation.
- D. Lot Line Setback: Accessory building, structures, and uses shall be located no closer to any side or rear property line than the greater distance of 10 feet or other applicable specific accessory building, structure, or use setback requirement. In B, C and NH Residential Districts, accessory buildings or structures may be set back no closer than four feet to any side and rear property line, provided they are of fire-resistant construction and no other applicable specific accessory building, structure, or use setback requirement applies. Utility boxes, to include other outdoor storage containers not exceeding 200 cubic feet, are exempt from setback requirements.
- E. Easement setback: Accessory building, structures, and uses shall not encroach upon any easement, right of way, or sight distance triangle area unless specifically authorized to do so by the instrument, law or regulation creating the easement, right of way, or sight distance triangle.
- F. Building coverage and impervious surface: The horizontal area of accessory building and structures shall be included as building coverage and impervious surface.
 - (1) On a lot with a principal residential use, the total building coverage of accessory buildings and structures, may not exceed 50% of the allowable building coverage in the underlying zoning district.

Shed Anchor Examples:



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